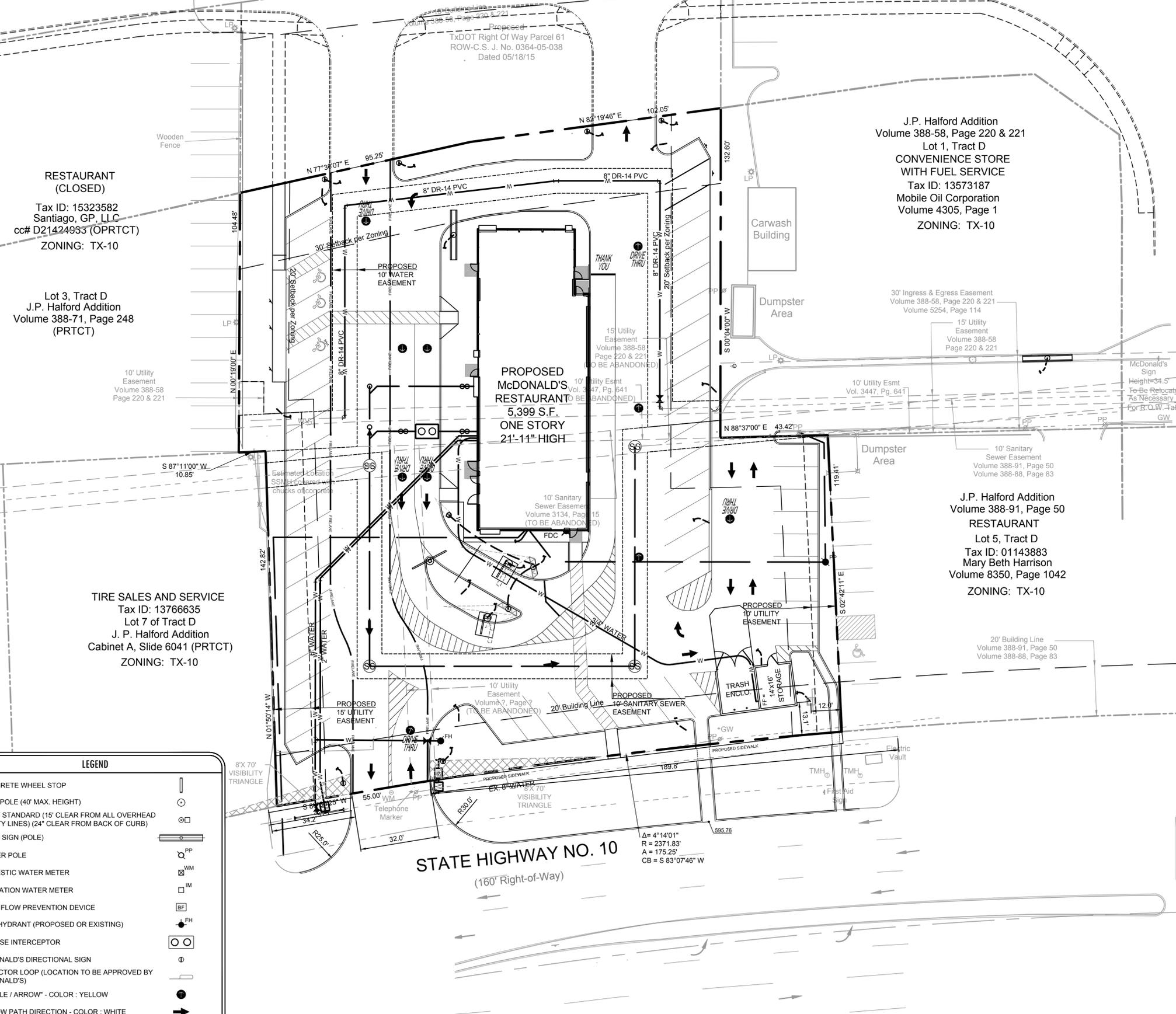
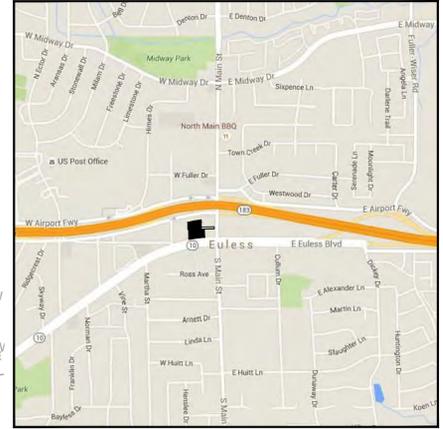
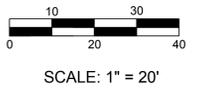


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 PLOT TIME: 10:31:44 AM
 PLOTTED BY: Elaine Pickering
 FILENAME: SITE PLAN.dwg

FUTURE MIDTOWN EXPRESS S.H. 183 RECONSTRUCTION



RESTAURANT (CLOSED)
Tax ID: 15323582
Santiago, GP, LLC
cc# D21424933 (OPRTCT)
ZONING: TX-10

Lot 3, Tract D
J.P. Halford Addition
Volume 388-71, Page 248 (PRCT)

10' Utility Easement
Volume 388-58
Page 220 & 221

TIRE SALES AND SERVICE
Tax ID: 13766635
Lot 7 of Tract D
J. P. Halford Addition
Cabinet A, Slide 6041 (PRCT)
ZONING: TX-10

J.P. Halford Addition
Volume 388-58, Page 220 & 221
Lot 1, Tract D
CONVENIENCE STORE WITH FUEL SERVICE
Tax ID: 13573187
Mobile Oil Corporation
Volume 4305, Page 1
ZONING: TX-10

J.P. Halford Addition
Volume 388-91, Page 50
RESTAURANT
Lot 5, Tract D
Tax ID: 01143883
Mary Beth Harrison
Volume 8350, Page 1042
ZONING: TX-10

PROPOSED
McDONALD'S
RESTAURANT
5,399 S.F.
ONE STORY
21'-11" HIGH

N. MAIN STREET

| SITE INFORMATION | |
|------------------------------|--------------------------------------|
| LAND AREA: | 52,958 SF (1.216 AC) |
| CURRENT ZONING: | TX-10 |
| EXISTING USE: | RESTAURANT W/ DRIVE-THRU |
| PROPOSED USE: | RESTAURANT W/ DRIVE-THRU |
| BUILDING AREA (APPROXIMATE): | 5,399 SF |
| MAXIMUM BUILDING HEIGHT: | 60 FT |
| BUILDING LOT COVERAGE: | 5,399 SF/52,958 SF = 10.2% |
| MAXIMUM LOT COVERAGE: | N/A |
| MINIMUM LOT SIZE: | 22,500 SF |
| MINIMUM LOT WIDTH: | 130.00 FT |
| PARKING REQUIRED: | 1 SPACE PER 100 SF |
| PARKING PROVIDED: | 5,399 SF/100 SF = 54 SPACES |
| HANDICAP PARKING REQUIRED: | 3 |
| HANDICAP PARKING PROVIDED: | 3 |
| IMPERVIOUS AREA: | 45,482 SF |
| LANDSCAPE PERCENTAGE: | 14.1% SEE LANDSCAPE PLAN FOR DETAILS |

OWNER INFORMATION
MCDONALD'S USA, LLC
MOUNTAIN SOUTHWEST
FIELD EXECUTION TEAM
511 E. CARPENTER FRWY, STE. 375
IRVING, TEXAS 75062
(972) 869-5346
CONTACT: LEE MORRIS

PROPERTY OWNER:
MCDONALD'S CORPORATION
VOL. 9929, PG. 948
D.R.T.C.T.

SITE PLAN
CASE NO.: **16-09-SP**
MCDONALD'S EULESS - AIRPORT FREEWAY
LOCATED IN:
1.045 ACRE TRACT
PART OF LOT 2R, TRACT D
REPLAT OF THE J.P. HALFORD ADDITION
AND
0.171 ACRE TRACT
JAMES P. HALFORD SURVEY
ABSTRACT NO. 711
EULESS, TARRANT COUNTY, TEXAS
SUBMITTED: 09/26/2016
REVISED: 10/10/2016

| LEGEND | |
|--|--|
| CONCRETE WHEEL STOP | |
| FLAG POLE (40' MAX. HEIGHT) | |
| LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES) (24' CLEAR FROM BACK OF CURB) | |
| ROAD SIGN (POLE) | |
| POWER POLE | |
| DOMESTIC WATER METER | |
| IRRIGATION WATER METER | |
| BACK FLOW PREVENTION DEVICE | |
| FIRE HYDRANT (PROPOSED OR EXISTING) | |
| GREASE INTERCEPTOR | |
| MCDONALD'S DIRECTIONAL SIGN | |
| DETECTOR LOOP (LOCATION TO BE APPROVED BY MCDONALD'S) | |
| "CIRCLE / ARROW" - COLOR : YELLOW | |
| ARROW PATH DIRECTION - COLOR : WHITE | |

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |

ADAMS JOB NO.: 2007223
TBP REGISTRATION #: F-1002

Adams
8951 Cypress Waters Blvd., Suite 150 • Dallas, Texas 75019 • (817) 334-3300

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW, AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF ELAINE S. PICKERING, P.E. REGISTRATION NO. 106689, ON 10/10/16. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

| OFFICE | ADDRESS | DATE | BY |
|---|--|------|----|
| MCDONALD'S U.S. | 942-0077 | | |
| MOUNTAIN SOUTHWEST FIELD EXECUTION TEAM | KROC DRIVE - OAK BROOK, ILLINOIS 60521 | | |

McDonald's USA, LLC
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105 AIRPORT FREEWAY
EULESS, TEXAS

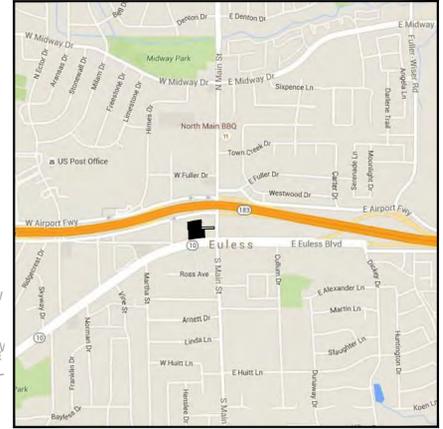
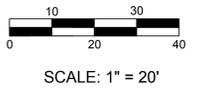
| REGIONAL MGR. | CONSTR. MGR. | OPERATIONS DEPT. | REAL ESTATE DEPT. | CONTRACTOR | OWNER |
|---------------|--------------|------------------|-------------------|------------|-------|
| | | | | | |

| DESIGNED | DATE | BY |
|----------|----------|-----|
| | MAR 2016 | LMH |
| DRAWN | DATE | BY |
| | MAR 2016 | LMH |
| CHECKED | DATE | BY |
| | | |
| AS-BUILT | DATE | BY |
| | | |

SITE PLAN UTILITIES

2

**FUTURE MIDTOWN EXPRESS
S.H. 183 RECONSTRUCTION**



N. MAIN STREET

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

ADAMS JOB NO.: 2007.223
TBP# REGISTRATION #: F-1002

Adams
8951 Cypress Waters Blvd., Suite 150 • Dallas, Texas 75019 • (817) 334-3300

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McDonald's USA, LLC

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105 AIRPORT FREEWAY
EULESS, TEXAS

| SITE INFORMATION | |
|------------------------------|--------------------------------------|
| LAND AREA: | 52,958 SF (1.216 AC) |
| CURRENT ZONING: | TX-10 |
| EXISTING USE: | RESTAURANT W/ DRIVE-THRU |
| PROPOSED USE: | RESTAURANT W/ DRIVE-THRU |
| BUILDING AREA (APPROXIMATE): | 5,399 SF |
| MAXIMUM BUILDING HEIGHT: | 60 FT |
| BUILDING LOT COVERAGE: | 5,399 SF/52,958 SF = 10.2% |
| MAXIMUM LOT COVERAGE: | N/A |
| MINIMUM LOT SIZE: | 22,500 SF |
| MINIMUM LOT WIDTH: | 130.00 FT |
| PARKING REQUIRED: | 1 SPACE PER 100 SF |
| PARKING PROVIDED: | 5,399 SF/100 SF = 54 SPACES |
| HANDICAP PARKING REQUIRED: | 3 |
| HANDICAP PARKING PROVIDED: | 3 |
| IMPERVIOUS AREA: | 45,482 SF |
| LANDSCAPE PERCENTAGE: | 14.1% SEE LANDSCAPE PLAN FOR DETAILS |

FLOOD INFORMATION

FIRM: 48439C0230K
EFFECTIVE DATE: 9/25/2009

ZONE: X

NO FLOOD-PRONE AREAS WITHIN 2000' OF SITE

OWNER INFORMATION

McDONALD'S USA, LLC
MOUNTAIN SOUTHWEST FIELD EXECUTION TEAM
511 E. CARPENTER FRWY., STE. 375
IRVING, TEXAS 75062
(972) 869-5346
CONTACT: LEE MORRIS

PROPERTY OWNER:
McDONALD'S CORPORATION
VOL. 9929, PG. 948
D.R.T.C.T.

DRAINAGE AREAS

EXISTING AND PROPOSED DRAINAGE AREAS WILL REMAIN EFFECTIVELY THE SAME.

SITE PLAN
CASE NO. **16-09-SP**
McDONALD'S EULESS - AIRPORT FREEWAY

LOCATED IN:
1.045 ACRE TRACT
PART OF LOT 2R, TRACT D
REPLAT OF THE J.P. HALFORD ADDITION
AND
0.171 ACRE TRACT
JAMES P. HALFORD SURVEY
ABSTRACT NO. 711
EULESS, TARRANT COUNTY, TEXAS

SUBMITTED: 09/26/2016
REVISED: 10/10/2016

| PLAN APPROVALS | | |
|------------------------|------|----|
| SIGNATURE (2 REQUIRED) | DATE | BY |
| | | |
| | | |

CO-SIGN SIGNATURES

| REGIONAL MGR. | CONSTR. MGR. | OPERATIONS DEPT. | REAL ESTATE DEPT. | CONTRACTOR | OWNER |
|---------------|--------------|------------------|-------------------|------------|-------|
| | | | | | |

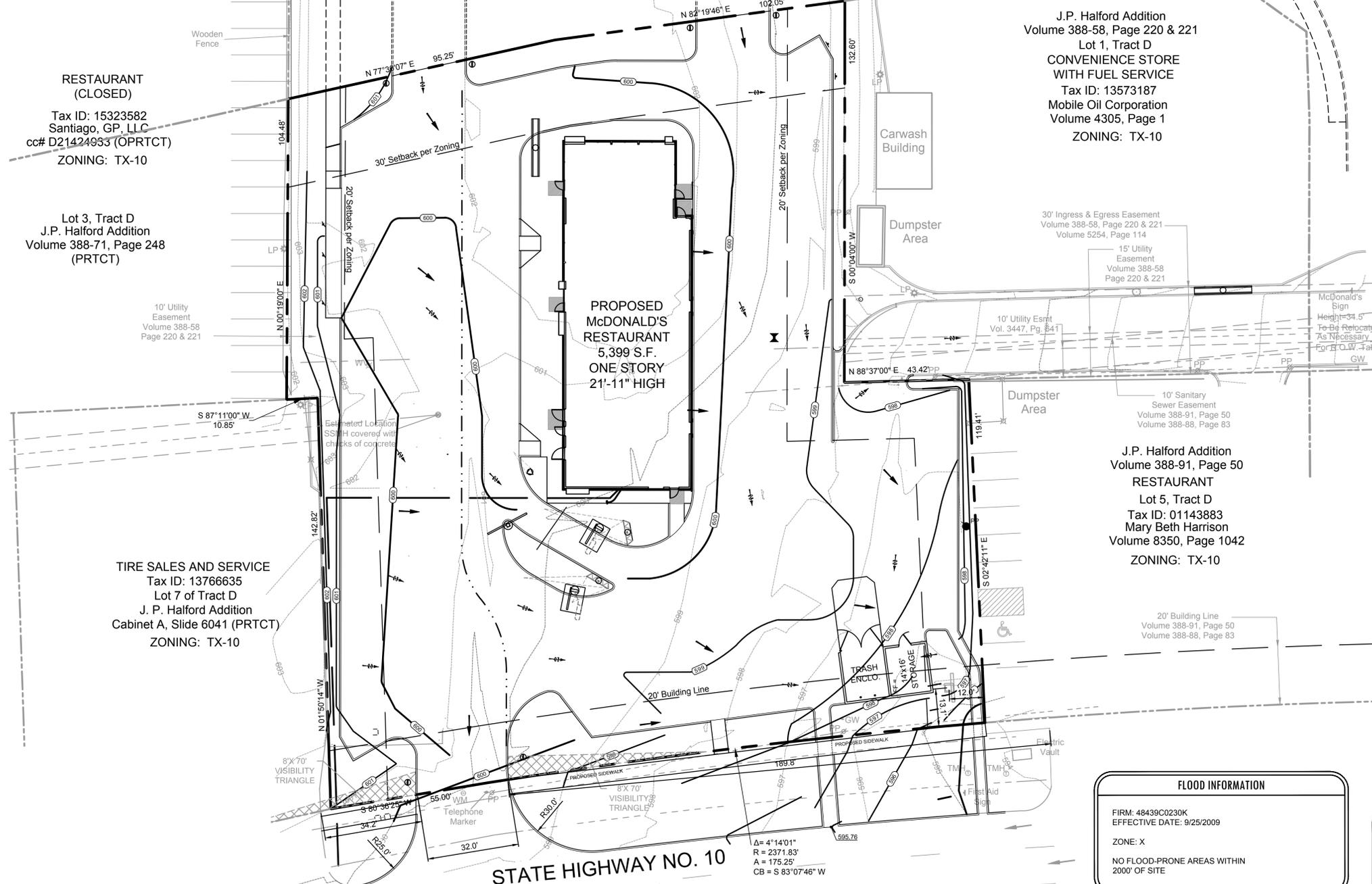
| DESIGNED | DATE | BY |
|----------|----------|-----|
| | MAR 2016 | LMH |
| DRAWN | DATE | BY |
| | MAR 2016 | LMH |
| CHECKED | | |
| AS-BUILT | | |

**SITE PLAN
GRADING/DRAINAGE**

3

LEGEND

- PROPOSED DRAINAGE DIVIDE
- - - EXISTING DRAINAGE DIVIDE
- - - EXISTING CONTOUR
- PROPOSED DRAINAGE DIRECTION
- EXISTING DRAINAGE DIRECTION



RESTAURANT (CLOSED)
Tax ID: 15323582
Santiago, GP, LLC
cc# D21424933 (OPRTCT)
ZONING: TX-10

Lot 3, Tract D
J.P. Halford Addition
Volume 388-71, Page 248
(PRTCT)

TIRE SALES AND SERVICE
Tax ID: 13766635
Lot 7 of Tract D
J. P. Halford Addition
Cabinet A, Slide 6041 (PRTCT)
ZONING: TX-10

J.P. Halford Addition
Volume 388-58, Page 220 & 221
Lot 1, Tract D
CONVENIENCE STORE
WITH FUEL SERVICE
Tax ID: 13573187
Mobile Oil Corporation
Volume 4305, Page 1
ZONING: TX-10

J.P. Halford Addition
Volume 388-91, Page 50
RESTAURANT
Lot 5, Tract D
Tax ID: 01143883
Mary Beth Harrison
Volume 8350, Page 1042
ZONING: TX-10

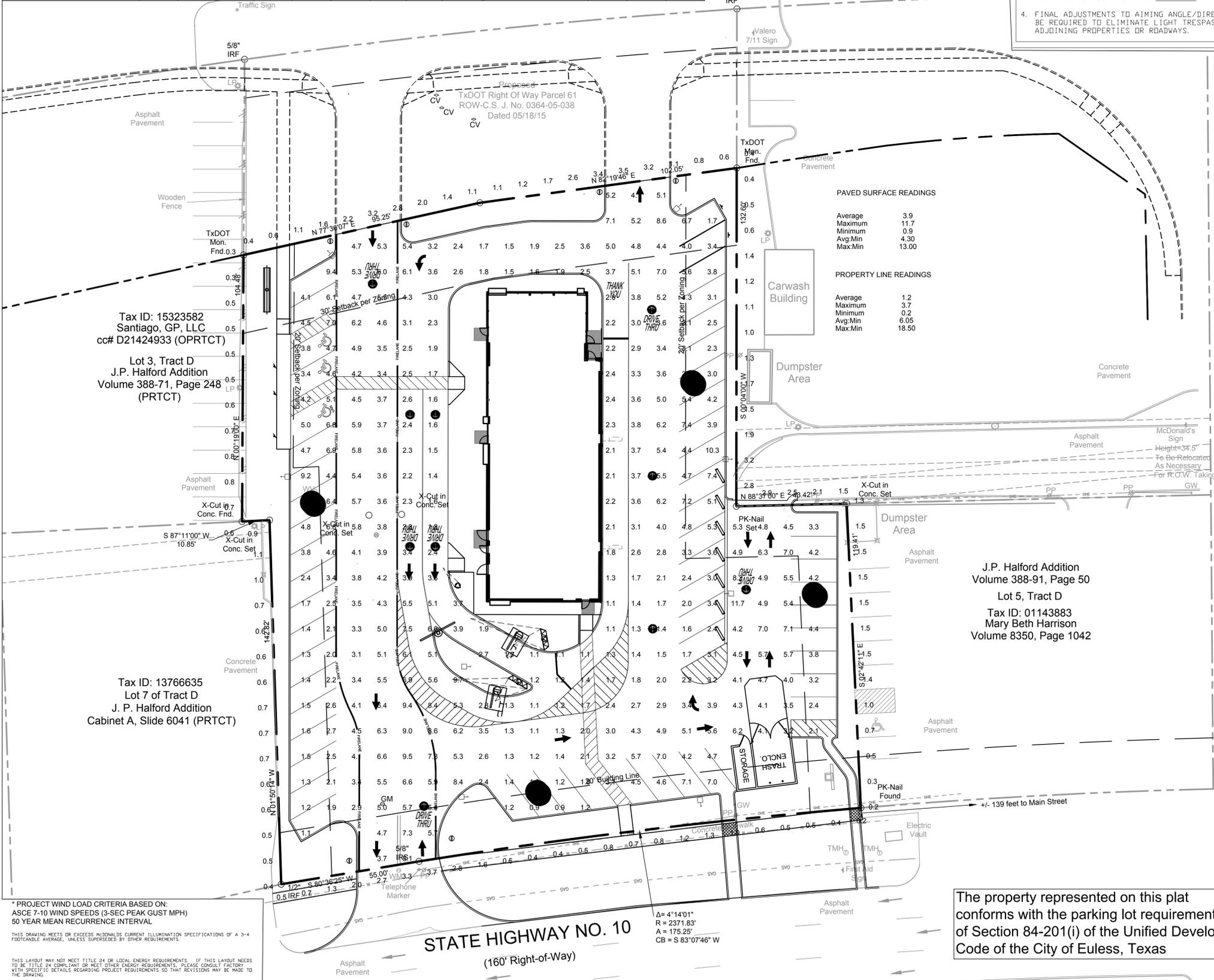
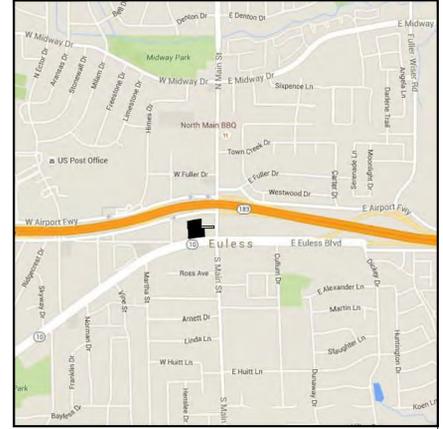
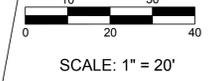
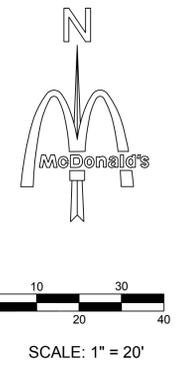
STATE HIGHWAY NO. 10
(160' Right-of-Way)

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 PLOT TIME: 10:32:37 AM
 PLOT DATE: Monday, October 10, 2016
 FILENAME: SITE PLAN.dwg

** - SPECIFY COLOR

| FIXTURE TYPE: | SYMBOL | FIXTURE QUANTITY | CONFIG | QUANTITY | TENDON TOP FITTERS | QUANTITY | EPA | MOUNTING HEIGHT | LLF | POLE TYPE: | QUANTITY | WIND LOAD | ALLOWED EPA |
|------------------------------|--------|------------------|--------|----------|--------------------|----------|------|-----------------|------|---------------------|----------|-----------|-------------|
| VP-L-96NB-280-5k-T4-UNV-RA** | □ | 8 | SGL | 8 | TTFVIPER | 8 | 1.00 | 21' | 0.87 | SSP-4118-GL-TT (4') | 8 | 90mph | 7.2 |

- NOTES:
- THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 - THE CONTRIBUTION OF THE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THE DRAWING UNLESS SOFFIT / BUILDING LIGHTING IS SPECIFIED IN THE FIXTURE SCHEDULE BELOW.
 - DISTANCE BETWEEN READINGS 10'
 - FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.



PAVED SURFACE READINGS

| | |
|----------|-------|
| Average | 3.9 |
| Maximum | 11.7 |
| Minimum | 0.9 |
| Avg./Min | 4.30 |
| Max./Min | 13.00 |

PROPERTY LINE READINGS

| | |
|----------|-------|
| Average | 1.2 |
| Maximum | 3.7 |
| Minimum | 0.2 |
| Avg./Min | 6.05 |
| Max./Min | 18.50 |

SITE INFORMATION

| | |
|--------------------------------|-----------------------------|
| LAND AREA: | 52,958 SF (1.216 AC) |
| CURRENT ZONING: | TX-10 |
| EXISTING USE: | RESTAURANT |
| PROPOSED USE: | RESTAURANT |
| BUILDING AREA (APPROXIMATE): | 5,399 SF |
| MAXIMUM BUILDING HEIGHT: | 60 FT |
| BUILDING LOT COVERAGE: | 5,399 SF/52,958 SF = 10.2% |
| MAXIMUM LOT COVERAGE REQUIRED: | N/A |
| MINIMUM LOT SIZE: | 22,500 SF |
| MINIMUM LOT WIDTH: | 130.00 FT |
| PARKING REQUIRED: | 1 SPACE PER 100 SF |
| PARKING PROVIDED: | 5,399 SF/100 SF = 54 SPACES |
| HANDICAP PARKING REQUIRED: | 3 |
| HANDICAP PARKING PROVIDED: | 3 |
| IMPERVIOUS AREA: | 45,482 SF |
| LANDSCAPE PERCENTAGE: | 14.1% |

OWNER INFORMATION

MCDONALD'S USA, LLC
MOUNTAIN SOUTHWEST
FIELD EXECUTION TEAM
511 E. CARPENTER FRY, STE. 375
IRVING, TEXAS 75062
(972) 869-5346
CONTACT: LEE MORRIS

PROPERTY OWNER:
MCDONALD'S CORPORATION
VOL. 9929, PG. 948
D.R.T.C.T.

The property represented on this plat conforms with the parking lot requirements of Section 84-201(i) of the Unified Development Code of the City of Euless, Texas

SITE PLAN
CASE NO: **16-09-SP**
MCDONALD'S EULESS - AIRPORT FREEWAY

LOCATED IN:
1.045 ACRE TRACT
PART OF LOT 2R, TRACT D
REPLAT OF THE J.P. HALFORD ADDITION
AND
0.171 ACRE TRACT
JAMES P. HALFORD SURVEY
ABSTRACT NO. 711
EULESS, TARRANT COUNTY, TEXAS

SUBMITTED: 09/26/2016
REVISED: 10/10/2016

| REV | DATE | DESCRIPTION | BY |
|-----|------------|-------------|----|
| 1 | 10/29/2016 | LMH | |

ADAMS JOB NO.: 2007.223
TBE REGISTRATION #: F-1002

9851 Cypress Waters Blvd, Suite 150 • Dallas, Texas 75019 • (817) 334-3300

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW, AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF ELAINE S. PICKERING, P.E. REGISTRATION No. 106699, ON 10/10/16. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

| OFFICE | ADDRESS | DATE | SIGNATURE (2 REQUIRED) |
|------------------|--|------|------------------------|
| MCDONALD'S, L.C. | KROC DRIVE - OAK BROOK, ILLINOIS 60521 | | |

McDonald's USA, LLC

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105 AIRPORT FREEWAY
EULESS, TEXAS

| DESIGNED | DATE | BY |
|----------|----------|-----|
| LMH | MAR 2016 | LMH |
| DRAWN | MAR 2016 | LMH |
| CHECKED | APR 2016 | ESP |
| AS-BUILT | | |

CO-SIGN SIGNATURES

| REGIONAL MGR. | CONSTR. MGR. | OPERATIONS DEPT. | REAL ESTATE DEPT. | CONTRACTOR | OWNER |
|---------------|--------------|------------------|-------------------|------------|-------|
| | | | | | |

LIGHTING PLAN

4

FULL PATH: I:\Projects\2016\16-09-SP\16-09-SP-01.dwg
 PLOT DATE: Monday, October 10, 2016
 PLOT TIME: 10:34:54 AM
 PLOTTER: dwg to pdf v3
 FEEDBACK: Elaine Pickering

LANDSCAPE PROJECT NOTES

Refer to Stilework Specifications for all information needed for landscape work.
Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.
Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tilled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.
Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.
Trees shall be planted at least five feet (5') from any utility line or sidewalk, and to the outside of utility easements with a clear ten feet (10') around fire hydrants. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees, shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 1/2" min. thickness unless bed is bordered by concrete. Steel edging adjacent to river rock beds shall have a 2" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of river rock as designated shall be locally available and of an average diameter of one and one-half inches (1 1/2") minimum to three inches (3") maximum. Contractor shall install to a depth of three inches (3"). Rock should be compacted and stable under foot when applied in a pedestrian area.

Boulders labeled on plan shall vary in size according to symbol size. Smaller boulders shall have a minimum exposed height of eighteen inches (18"), minimum width of thirty-six inches (36") and a minimum depth of twenty-four inches (24"). Larger boulders shall have a minimum exposed height of twenty-four inches (24"), minimum width of forty-eight (48") and a minimum depth of thirty-six (36"). Boulders shall be recessed into the grade and shall be oriented so that its longest side is parallel to the ground plane to achieve a natural look.

LANDSCAPE REQUIREMENTS for the City of Euless, TX

ARTICLE IV. ZONING DISTRICT REGULATIONS
Division 2. District Regulations
Sec. 84-112 "TX-10" Texas Highway 10 multi-use district
(c) District development standards.
(15) Frontage landscaping-ten feet wide strip along front property line:
-One three-inch [caliper] tree per every 25 feet of frontage;
-Four shrubs per every 25 feet of frontage.

(16) Parking lot landscaping-25 square feet per parking space;
-One tree for every ten parking spaces in street yard.

ARTICLE VII. LANDSCAPING, FENCES, WALLS, SCREENING AND OUTDOOR STORAGE REQUIREMENTS

Sec. 84-334 Landscaping standards for other than one- or two-family dwellings
(a) Area required. On all lots, not less than 15 percent of the area of the street yard shall be landscaped area. All of the required landscaped area shall be located in the street yard and parking lots.

(b) Trees required. At least one large tree of at least three inches in caliper and 12 feet in initial height shall be provided as follows:
(1) Street yards less than 10,000 square feet. In street yards of less than 10,000 square feet, one tree per 1,000 square feet, or fraction thereof, of street yard shall be maintained.
(2) Street yards between 10,000 and 100,000 square feet. In street yards of more than 10,000 square feet and not more than 100,000 square feet, not less than ten trees plus one tree per 2,000 square feet, or fraction thereof, of street yard area over 10,000 square feet shall be maintained.

(5) Ornamental trees. In lieu of one large tree, two small trees (as listed on the plant list contained herein) may be used. Small trees shall be a minimum of six feet in height at the time of planting. Not more than 50 percent of the required large trees may be substituted by installing ornamental trees at a rate of two ornamental trees to one large tree. All newly planted trees shall be planted in permeable area of not less than three feet in diameter.

(c) Shrubbery required. Placement of shrubbery shall be taken into consideration as to the plant at full maturity, and be located so as not to conflict with vehicular or pedestrian traffic visibility. Shrubbery shall be provided as follows:
(1) Street yards of less than 10,000 square feet. In street yards of less than 10,000 square feet, not less than one shrub shall be maintained for every 50 square feet of the area required to be landscaped.

(2) Street yards between 10,000 and 100,000 square feet. In street yards having at least 10,000 and not more than 100,000 square feet, 30 shrubs plus one shrub per 100 square feet of required landscaped area over 1,500 square feet shall be provided.
(d) Ground cover required. Ground cover shall be provided as follows:
(1) Street yards less than 10,000 square feet. In street yards of less than 10,000 square feet, not less than ten percent of the land area required to be landscaped shall be maintained ground cover.

(2) Street yards 10,000 square feet or more. In street yards of 10,000 square feet or more, not less than 150 square feet of ground cover plus five percent of the required landscaped area over 1,500 square feet (up to 4,000 square feet) shall be maintained in ground cover.
The remaining landscaped area shall be maintained in lawn grass and bedding plants, with much used around bedding plants, shrubs and trees. All ground cover areas shall be kept clear of weeds and undergrowth.

(e) Parking lots and vehicular use areas. A minimum amount of the total area of all vehicular use areas shall be devoted to landscaped islands, peninsulas or medians.
(1) Street yard area. The minimum total area in such islands, peninsulas and medians in the street yard shall be 90 square feet for each 12 parking spaces. Landscape islands, peninsulas and medians located in the street yard may be included in calculating the minimum required landscape in the street yard.
(2) Nonstreet yard area. The minimum total area in such islands, peninsulas and medians in the nonstreet yard shall be 60 square feet for each 12 parking spaces.

(f) Remaining landscaped area shall be maintained in lawn grass and bedding plants, with much used around bedding plants, shrubs and trees. All ground cover areas shall be kept clear of weeds and undergrowth.

(g) Parking lots and vehicular use areas. A minimum amount of the total area of all vehicular use areas shall be devoted to landscaped islands, peninsulas or medians.

(1) Street yard area. The minimum total area in such islands, peninsulas and medians in the street yard shall be 90 square feet for each 12 parking spaces. Landscape islands, peninsulas and medians located in the street yard may be included in calculating the minimum required landscape in the street yard.

(2) Nonstreet yard area. The minimum total area in such islands, peninsulas and medians in the nonstreet yard shall be 60 square feet for each 12 parking spaces.

* Substitute 2 Ornamental Trees for 1 Shade Tree

LANDSCAPE CALCULATIONS for the City of Euless, TX

| HWY 183 @ 197.30 LF, Street Yard @ 6,491.55 SF | REQUIRED | PROPOSED |
|---|---------------------------------|------------------------|
| TX-10: 10' Landscape Strip w/ 1 tree & 4 shrubs / 25LF of Frontage | 7.9 Trees 31.6 Shrubs | 8 Trees * 38 Shrubs |
| Parking @ 25SF of Landscape area per space w/ 1 tree / 10 spaces in street yard | 100 SF 1 Tree (4 spaces) | 1,721 SF 1 Tree |
| Art.VII: 15% of Street Yard Landscaped | 973.73 SF | 1,721 SF |
| 1 tree / 1,000SF of Street Yard | 6.5 Trees | 8 Trees * |
| 1 shrub / 50SF of area required to be landscaped in the street yard | 19.5 Shrubs | 38 Shrubs |
| Groundcover-10% of area required to be landscaped in the street yard | 97.37 SF | 380 SF |
| HWY 10 @ 230.10 LF, Street Yard @ 21,271.77 SF | | |
| TX-10: 10' Landscape Strip w/ 1 tree & 4 shrubs / 25LF of Frontage | 9.2 Trees 36.8 Shrubs | 9 Trees * 61 Shrubs |
| Parking @ 25SF of Landscape area per space w/ 1 tree / 10 spaces in street yard | 600 SF 2.4 Trees (24 spaces) | 4,413 SF 0 Trees |
| Art.VII: 15% of Street Yard Landscaped | 3,190.77 SF | 4,413 SF |
| 10 trees + 1 / 2,000SF over 10,000SF of Street Yard | 15.6 Trees | 9 Trees * |
| 30 shrubs + 1 / 100SF over 1500SF of area required to be landscaped in the street yard | 46.9 Shrubs | 61 Shrubs |
| Groundcover-150SF + 5% of area over 1500SF required to be landscaped in the street yard | 234.54 SF | 236 SF |

SOD PROJECT NOTES

EROSION CONTROL:
Throughout the project and the maintenance period for turfgress, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgress losses due to erosion will be replaced by the Contractor until ESTABLISHMENT and ACCEPTANCE is achieved.

SOIL PREPARATION:
All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied, if adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tillage and cleaning, all areas to receive turf shall be leveled, fine graded, and drug with a weighted spike harrow or grass sod.

GRASS SOD:
Turfgress sod shall be 100% "Cymodon dactylon" (Common Bermuda grass). Sod shall consist of stolon, leaf blades, rhizomes and roots with a healthy, viable system of dense, thickly matted roots throughout the soil of the sod for a thickness not less than three-quarters (3/4") inch. Sod shall be alive, healthy, vigorous, free of insects, disease, stones, and undesirable foreign materials and grasses. The grass shall have been mowed prior to sod cutting so that the height of grass shall not exceed two (2") inches. Sod shall have been produced on growing beds of clay-loam topsoil. Sod shall not be harvested or planted when its moisture condition is so excessively wet or dry that its survival will be affected. All sod is to be harvested, delivered, and planted within a thirty-six (36) hour period of time. Sod shall be protected from exposure to wind, sun, and freezing. Should installation occur between November and March, sod shall include an over-seed of Annual Rye for a green-in appearance.

IRRIGATION:
In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sod temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be watered until firmly established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

MAINTENANCE REQUIREMENTS:
Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

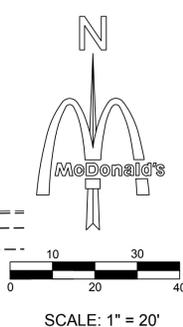
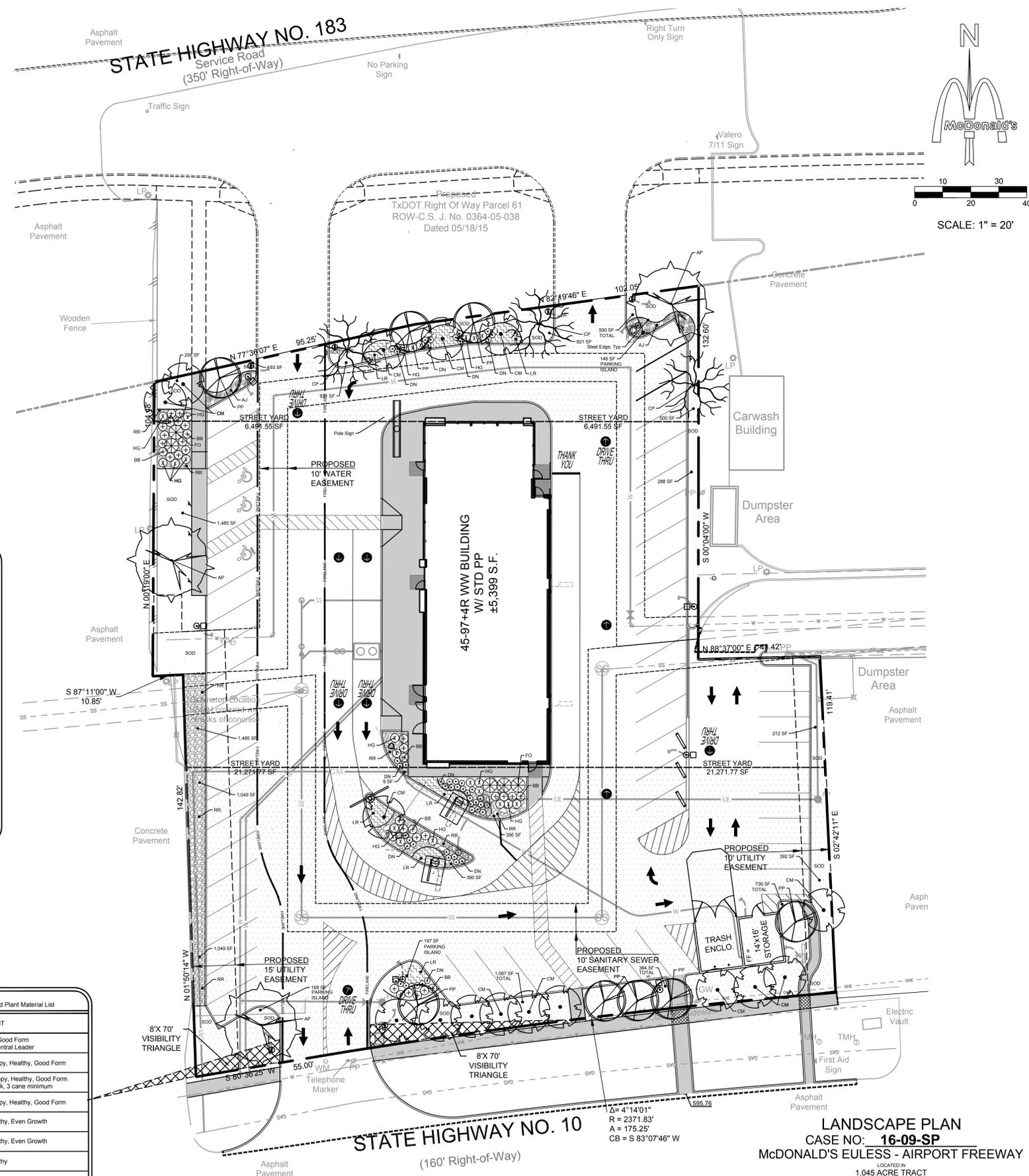
IRRIGATION NOTE

Underground irrigation system plans designed by a Licensed Irrigator will be submitted with the Building Permit application.

City of Euless, TX
Reference Recommended Plant Material List

| SYM. | KEY | QTY. | COMMON NAME SCIENTIFIC NAME | O.C. | ROOT | SIZE | HEIGHT | SPREAD | COMMENT |
|------|----------|------|--|------|-------|---------|----------|----------|--|
| AP | 3 | | Alghan Pine <i>Pinus aldarica</i> | N/A | B&B | 3' cal. | 12' min. | 5' min. | Healthy, Good Form Strong Central Leader |
| CP | 3 | | Chinese Pistache <i>Pistacia chinensis</i> | N/A | B&B | 3' cal. | 12' min. | 5' min. | Full Canopy, Healthy, Good Form |
| CM | 16 | | Crape Myrtle 'Natchez' <i>Lagerstroemia indica 'Natchez'</i> | N/A | Cont. | 45 gal. | 8' min. | 4' min. | Full Canopy, Healthy, Good Form Multi-trunk, 3 cane minimum |
| PP | 8 | | Purple Leaf Plum <i>Prunus cerasifera</i> | N/A | Cont. | 45 gal. | 8' min. | 6' min. | Full Canopy, Healthy, Good Form |
| FO | 5 | | Forsythia <i>Forsythia intermedia</i> | N/A | Cont. | 7 gal. | 36" min. | 24" min. | Full, Healthy, Even Growth |
| BB | 32 | | Crimson Pymy Dwf. Japanese Barberry <i>Berberis thunbergii 'Crimson Pymy'</i> | 24" | Cont. | 5 gal. | 20" min. | 18" min. | Full, Healthy, Even Growth |
| HG | 23 | | Hamein Fountain Grass <i>Pennisetum alopecuroides 'Hamein'</i> | 24" | Cont. | 3 gal. | 18" min. | 18" min. | Full, Healthy |
| DN | 48 | | Dwarf Nandina <i>Nandina domestica 'Nana Purpurea'</i> | 24" | Cont. | 3 gal. | 20" min. | 18" min. | Full, Healthy, Even Growth |
| LR | 540 SF | | Liriope <i>Liriope muscari</i> | 18" | Cont. | 1 gal. | 8" min. | 8" min. | Full, Good Form, Healthy |
| AJ | 200 SF | | Andorra Juniper <i>Juniperus x horizontalis 'Plumosa'</i> | 18" | Cont. | 1 gal. | 8" min. | 12" min. | Full, Good Form, Healthy |
| RR | 1,331 SF | | River Rock | - | - | - | - | - | As Locally Available |

In Accordance to the Current Edition of The American Standard for Nursery Stock



| REV | DATE | DESCRIPTION |
|------------|------|--------------------------|
| 04/29/2016 | | ISSUE FOR BID |
| 05/06/2016 | | ISSUE FOR PERMIT |
| 06/16/2016 | | SECOND SUBMITTAL TO CITY |

ADAMS JOB NO.: 2007-223
TBE REGISTRATION #: F-1002

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERNAL REVIEW, AGENCY APPROVAL AND COMMENT UNDER THE AUTHORITY OF MARGARET J. ROGERS, ASLA LANDSCAPE ARCHITECT No. 2765, ON 10/10/16. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

09.23.2016

| OFFICE | ADDRESS | DATE | SIGNATURE |
|------------------------------------|--|------|-----------|
| MOUNTAIN SOUTHWEST FIELD EXECUTION | KROC DRIVE - OAK BROOK, ILLINOIS 60521 | | |

McDonald's USA, LLC
105 AIRPORT FREEWAY
EULESS, TEXAS

| PLAN APPROVALS | DATE | BY |
|------------------------|------|----|
| SIGNATURE (2 REQUIRED) | | |
| REGIONAL MGR. | | |
| CONST. MGR. | | |
| OPERATIONS DEPT. | | |
| REAL ESTATE DEPT. | | |
| CO-SIGN SIGNATURES | | |
| CONTRACTOR | | |
| OWNER | | |

| DESIGNED | DATE | BY |
|----------|--------|-----|
| | 3/2016 | MJR |
| DRAWN | DATE | BY |
| | 3/2016 | MJR |
| CHECKED | DATE | BY |
| | 3/2016 | BRH |
| AS-BUILT | DATE | BY |
| | | |

LANDSCAPE PLAN

5

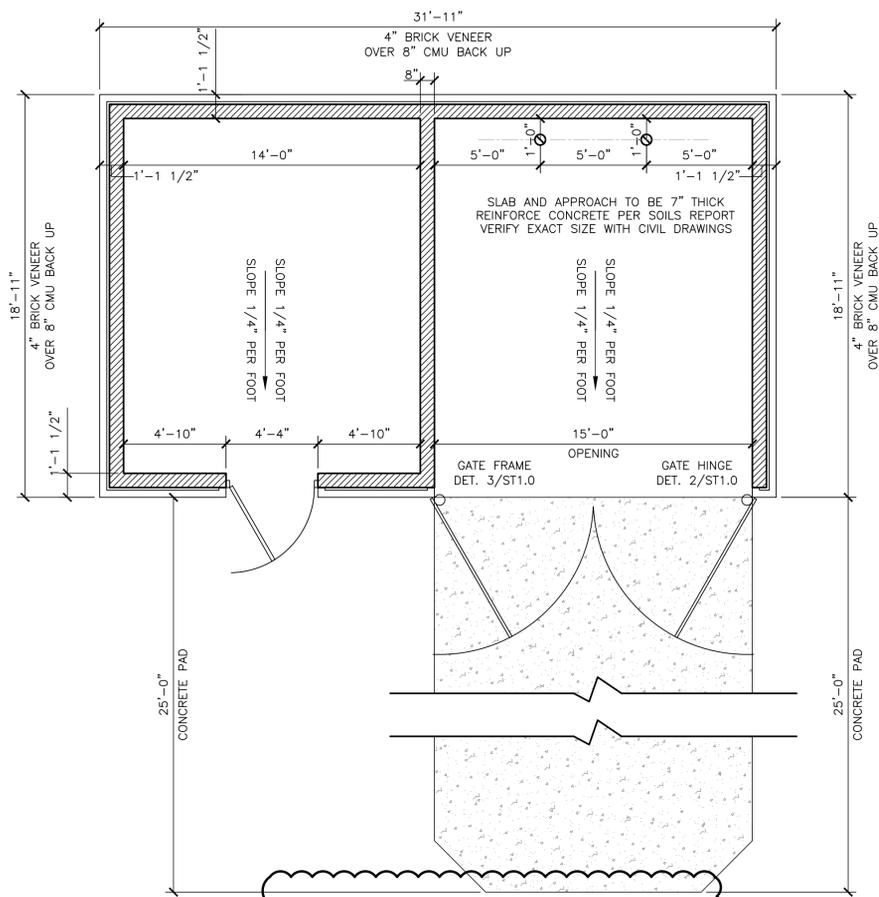
LANDSCAPE PLAN
CASE NO: 16-09-SP
McDONALD'S EULESS - AIRPORT FREEWAY

1.045 ACRE TRACT
PART OF LOT 2R, TRACT D
REPLAT OF THE J.P. HALFORD ADDITION

0.171 ACRE TRACT
JAMES P. HALFORD SURVEY
ABSTRACT NO. 711
EULESS, TARRANT COUNTY, TEXAS

SUBMITTED: 09/26/2016
REVISED: 10/10/2016

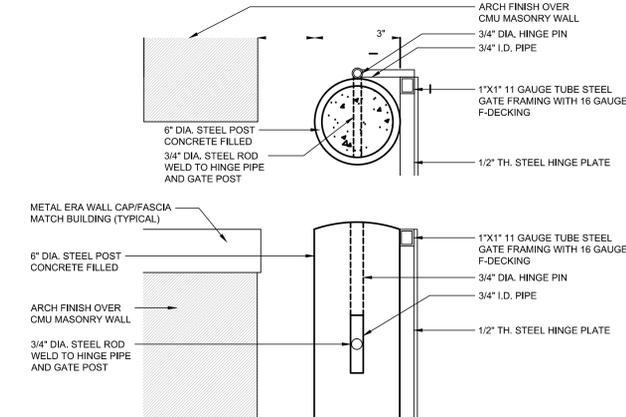
FILE NAME: L13 LANDSCAPE PLAN.dwg
 PLOT DATE: Monday, October 10, 2016
 PLOT TIME: 10:38:01 AM
 PLOTTER: dwg to pdf v3
 FULL PATH: L:\Projects\2007-223\McDonalds - Euless TX (Rev 10) Drawings\3 Production\MCDONALD'S LANDSCAPE PLAN



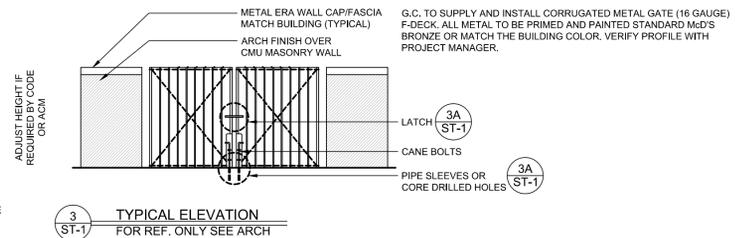
1 TRASH ENCLOSURE PLAN
NOT TO SCALE

1. PROVIDE CLOSELY SPACED CONTROL JOINTS IN ALL MASONRY WALLS (MINIMUM ONE PER WALL FACE).
2. PROVIDE TECHNIQUES MENTIONED IN SOILS REPORT TO CONTROL EXCESS POST CONSTRUCTION MOISTURE TO SUBGRADE. MAINTAIN MOISTURE BARRIERS.
3. SEE SITE PLAN FOR LOCATION.

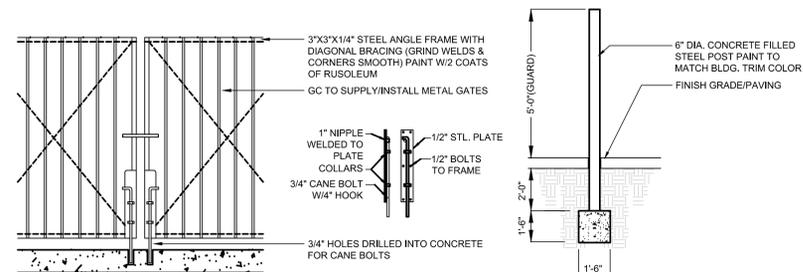
NOTE:
STORAGE ROOM IS TO BE EQUIPPED WITH A "WHIRLY BIRD" ROOF VENTILATOR, 2X2 FLUORESCENT LIGHT (WEATHER TIGHT) W/ SWITCH AND DUPLEX RECEPTACLE.
G.C. TO APPLY BLOCK SEALANT AND PAINT TO ALL EXPOSED CMU SURFACES.
G.C. TO PROVIDE A TPO ROOF COVERING, PER THE STANDARD DETAILS AS SHOWN ON THE ROOFING PLANS, USE A METAL ERA FASCIA TRIM TO MATCH THE BUILDING.



2 SINGLE GATE HINGE DETAIL
NOT TO SCALE

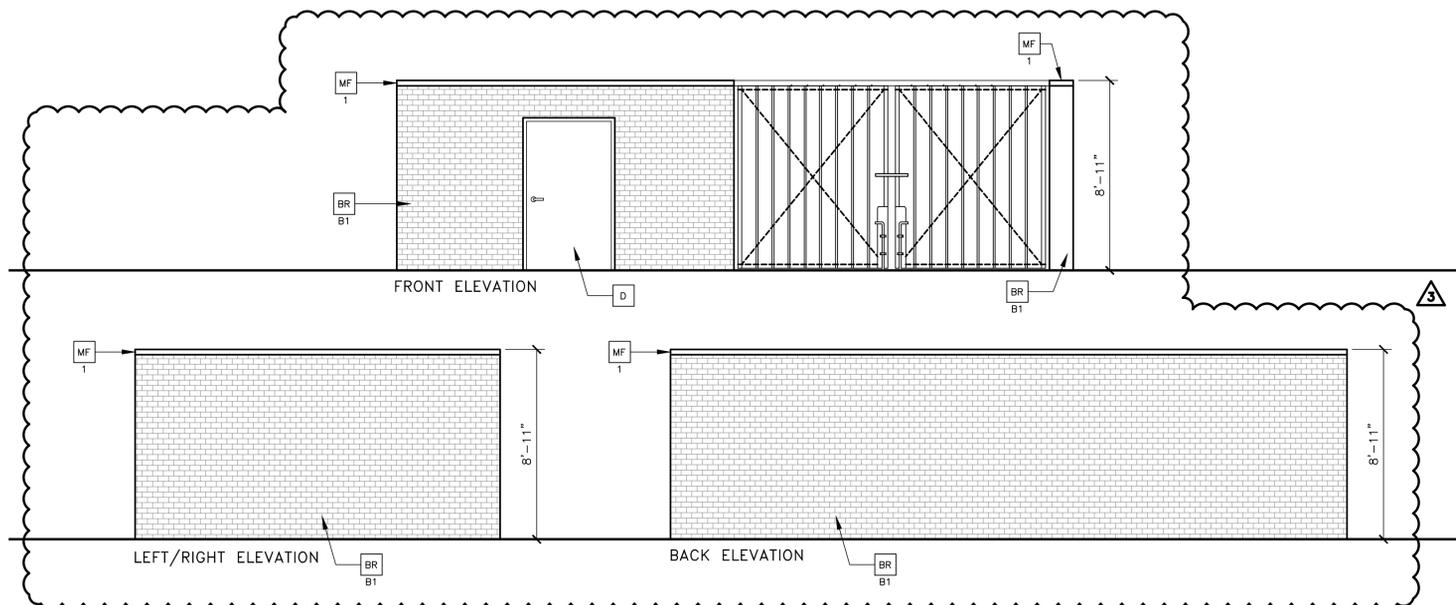


3 TYPICAL ELEVATION
FOR REF. ONLY SEE ARCH



3A TYPICAL ELEVATION
NOT TO SCALE

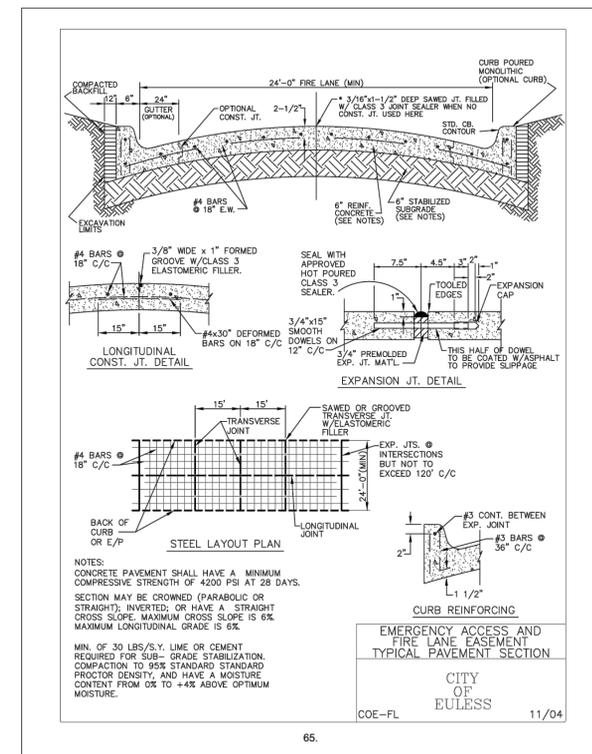
4 GUARD POST
NOT TO SCALE



BR FACEBRICK
B1 - COLOR: "SIENNA BLEND VELOUR A" BY BELDEN OR EQUAL

MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/AS.0

D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL.



5 EMERGENCY ACCESS DETAIL
NOT TO SCALE

| NO. | CLIENT/CITY COMMENTS |
|-----|----------------------|
| 1 | 08-15-16 |
| 2 | 08-24-16 |
| 3 | 10-10-16 |

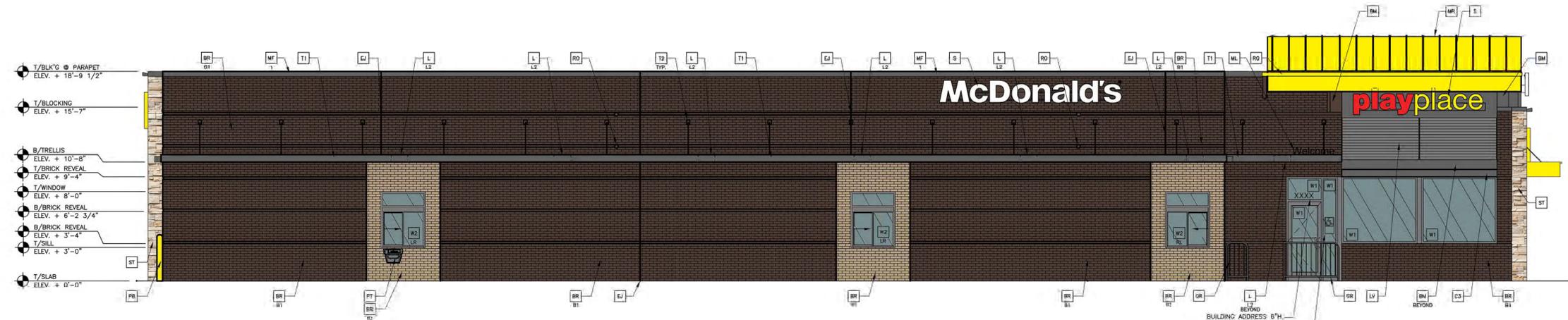


513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
817.820.0433 or 817.705.3387 c

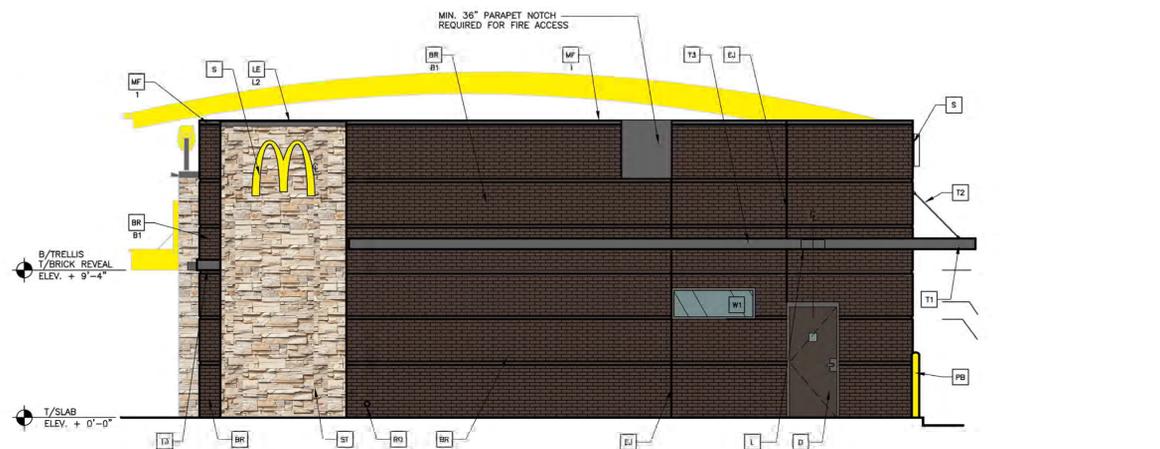
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| | |
|----------------------|---|
| PROJECT NAME | 2015 STANDARD BUILDING |
| DESCRIPTION | WOOD BEARING WALLS WITH 4" BRICK VENEER WOOD ROOF FRAMING MEMBERS CULTURED STONE ARCHES |
| PROJECT NO. | 4597-WW-PP-CIT READY |
| DATE | 11/04 |
| PROJECT ARCHITECT | JEREMY WILLIAMS ARCHITECT |
| PROTOTYPE ISSUE DATE | 2015 |
| REVIEWED | JAW |
| FIRST ISSUE DATE | 05/04/16 |
| SITE ADDRESS | 105 SPUR 360 EULESS, TX |

SHEET NO. **ST1.0**
TRASH ENCLOSURE



- BR-2 BRICK VENEER**
MOD. WHEATFIELD VELOURA
BELDEN BRICK OR EQUAL
- BR-1 BRICK VENEER**
MOD. SIENNA BLEND VELOURA
BELDEN BRICK OR EQUAL
- ST-STONE**
"MCD PFSW BLEND" LEDGESTONE
BY BORAL



KEY NOTES:

- BM** BREAK METAL
COLOR = CITYSCAPE BY METAL-ERA
- BR** FACEBRICK
B1-COLOR: "SIENNA BLEND VELOURA" BY BELDEN OR EQUAL
B2-COLOR: "WHEATFIELD VELOURA" BY BELDEN OR EQUAL
- C1** ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2** ALUMINUM CANOPY TIE-BACK SYSTEM
- C3** ALUMINUM CANOPY SYSTEM
- CJ** CONTROL JOINT
X-TYPE: 1 = EIFS
- D** HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- ST** "MCD PFSW BLEND" LEDGESTONE - BY BORAL
-MORIRAR COLOR TO MATCH -CONTACT: KEVIN REDY, (717) 377-2748
- CO2** CO2 = BULK CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18)
CONFIRM USE WITH MCD PROJECT MANAGER
- LV** METAL LOUVER PANEL
- GR** GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
- L** LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
L1- LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
- LE** ACCENT LIGHTING - SEE ELECTRICAL
L1- LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = DR. ONLY FIXTURE
- ML** METAL LETTERING - BY OTHERS
- MF** METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/AS.0
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
3 = PRE-FAB MASONRY CAP FASCIA
- MR** METAL ROOF - STANDING SEAM W/ALUMINUM FINISH FASCIA TRIM, COLOR TO BE "YELLOW - PANTONE COLOR #109U"
- PB** PIPE BOLLARD - PAINTED YELLOW
- EJ** EXPANSION JOINT, SEE DETAIL 7/A4.1
- PT** (RMHC) COIN COLLECTOR UNIT #WPT DT2000 STD CALL 1-888-743-7433 TO ORDER
- RE** ROOF CAP ELEMENT BY OTHERS
- RC** CONTINUOUS RAIN GUTTERS AT BARREL VAULT ROOF COLOR TO MATCH ROOF
- RO** ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- T1** ALUMINUM TRELLIS SYSTEM
- T2** TRELLIS TIE-BACK SYSTEM
- T3** ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM - REFER TO SIM, DETAIL 3 ON SHEET A5.1
- W1** EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS - SEE ASSEMBLY NOTES
- W2** DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, HEIGHT WITH TRANSOM - MANUAL OPEN; ELECTRONIC
- XX** SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

| WEST ELEVATION | SF CALCULATIONS |
|--------------------|-----------------|
| STONE | 216.2 |
| BRICK | 1476 |
| GLASS | 317 |
| METAL | 334.6 |
| TOTAL | 2343.8 |
| MASONRY % OF TOTAL | 100% |

| SOUTH ELEVATION | SF CALCULATIONS |
|--------------------|-----------------|
| STONE | 149.6 |
| BRICK | 653.5 |
| GLASS | 10.7 |
| METAL | 27.4 |
| TOTAL | 841.2 |
| MASONRY % OF TOTAL | 100% |

| EAST ELEVATION | SF CALCULATIONS |
|--------------------|-----------------|
| STONE | 0 |
| BRICK | 1951.1 |
| GLASS | 190.7 |
| METAL | 303.3 |
| TOTAL | 2445.1 |
| MASONRY % OF TOTAL | 100% |

| NORTH ELEVATION | SF CALCULATIONS |
|--------------------|-----------------|
| STONE | 325.6 |
| BRICK | 87 |
| GLASS | 364.9 |
| METAL | 123.3 |
| TOTAL | 900.8 |
| MASONRY % OF TOTAL | 100% |

TOTAL SF OF ALL ELEVATIONS 2249.7 MASONRY % OF TOTAL 100.00%



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FORT WORTH, TEXAS 76102
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| JEREMY WILLIAMS ARCHITECT | PROJECT NAME |
|------------------------------|---|
| PROTOTYPE ISSUE DATE 2015 | 2015 STANDARD BUILDING |
| REVIEWED JAW | DESCRIPTION WOOD BEARING WALLS WITH 4" BRICK VENEER WOOD BEARING WALLS WITH 4" BRICK VENEER WOOD BEARING WALLS WITH 4" BRICK VENEER WOOD BEARING WALLS WITH 4" BRICK VENEER |
| FIRST ISSUE DATE 03/16/16 | SITE ID 105-SPUR-306-EULESS-TX |

A2.0
ELEVATIONS

"EXHIBIT C"