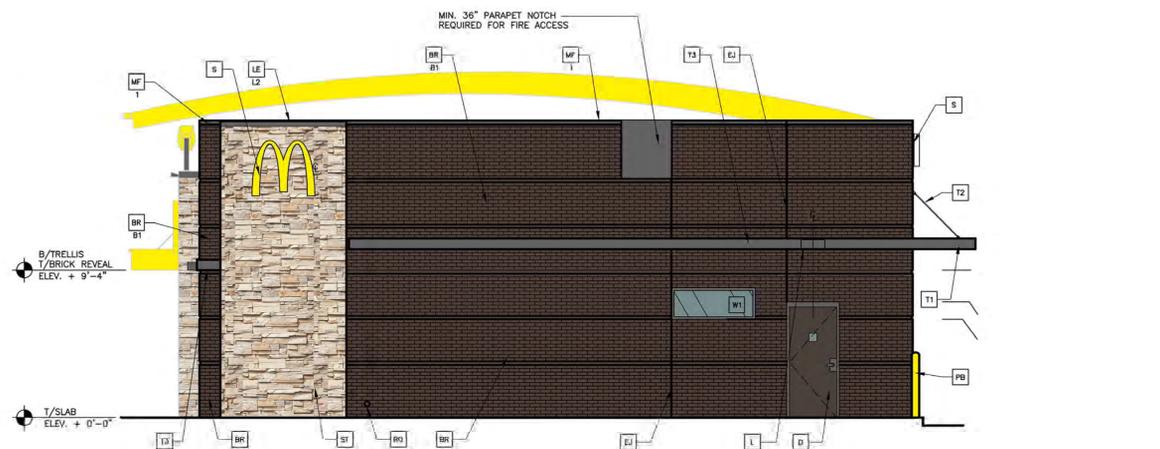


- BR-2 BRICK VENEER**
MOD. WHEATFIELD VELOURA
BELDEN BRICK OR EQUAL
- BR-1 BRICK VENEER**
MOD. SIENNA BLEND VELOURA
BELDEN BRICK OR EQUAL
- ST-STONE**
"MCD PFSW BLEND" LEDGESTONE
BY BORAL



KEY NOTES:

- BM BREAK METAL
COLOR = CITYSCAPE BY METAL-ERA
- BR FACEBRICK
B1-COLOR: "SIENNA BLEND VELOURA" BY BELDEN OR EQUAL
B2-COLOR: "WHEATFIELD VELOURA" BY BELDEN OR EQUAL
- C1 ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM
- C3 ALUMINUM CANOPY SYSTEM
- CJ CONTROL JOINT
X-TYPE: 1 = EIFS
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- ST "MCD PFSW BLEND" LEDGESTONE - BY BORAL
-MORIRAR COLOR TO MATCH -CONTACT: KEVIN RIEDY, (717) 377-2748
- FBI CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
CONFIRM USE WITH MCD PROJECT MANAGER
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
L1-LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
- LE ACCENT LIGHTING - SEE ELECTRICAL
LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = DR. ONLY FIXTURE
- LV METAL LOUVER PANEL
- ML METAL LETTERING - BY OTHERS
- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/AS.0
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
3 = PRE-FAB MASONRY CAP FASCIA
- MR METAL ROOF - STANDING SEAM W/ALUMINUM FINISH FASCIA TRIM, COLOR TO BE "YELLOW - PANTONE COLOR #109U"
- PB PIPE BOLLARD - PAINTED YELLOW
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- PT (RMHC) COIN COLLECTOR
UNIT #WPT DT2000 STD
CALL 1-888-743-7433 TO ORDER
- RE ROOF CAP ELEMENT BY OTHERS
- RC CONTINUOUS RAIN GUTTERS AT BARREL VAULT ROOF COLOR TO MATCH ROOF
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- T1 ALUMINUM TRELLIS SYSTEM
- T2 TRELLIS TIE-BACK SYSTEM
- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM - REFER TO SIM, DETAIL 3 ON SHEET A5.1
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS - SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, HEIGHT WITH TRANSOM - MANUAL OPEN; ELECTRONIC
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

WEST ELEVATION	SF CALCULATIONS
STONE	216.2
BRICK	1476
GLASS	317
METAL	334.6
TOTAL	2343.8
MASONRY % OF TOTAL	100%

SOUTH ELEVATION	SF CALCULATIONS
STONE	149.6
BRICK	653.5
GLASS	10.7
METAL	27.4
TOTAL	841.2
MASONRY % OF TOTAL	100%

EAST ELEVATION	SF CALCULATIONS
STONE	0
BRICK	1951.1
GLASS	190.7
METAL	303.3
TOTAL	2445.1
MASONRY % OF TOTAL	100%

NORTH ELEVATION	SF CALCULATIONS
STONE	325.6
BRICK	87
GLASS	364.9
METAL	123.3
TOTAL	900.8
MASONRY % OF TOTAL	100%

TOTAL SF OF ALL ELEVATIONS 2249.7 MASONRY % OF TOTAL 100.00%

"EXHIBIT C"



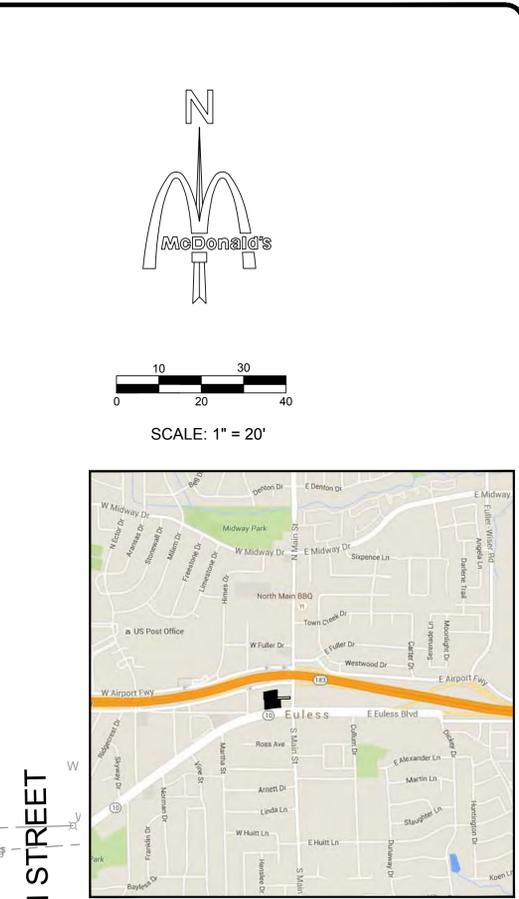
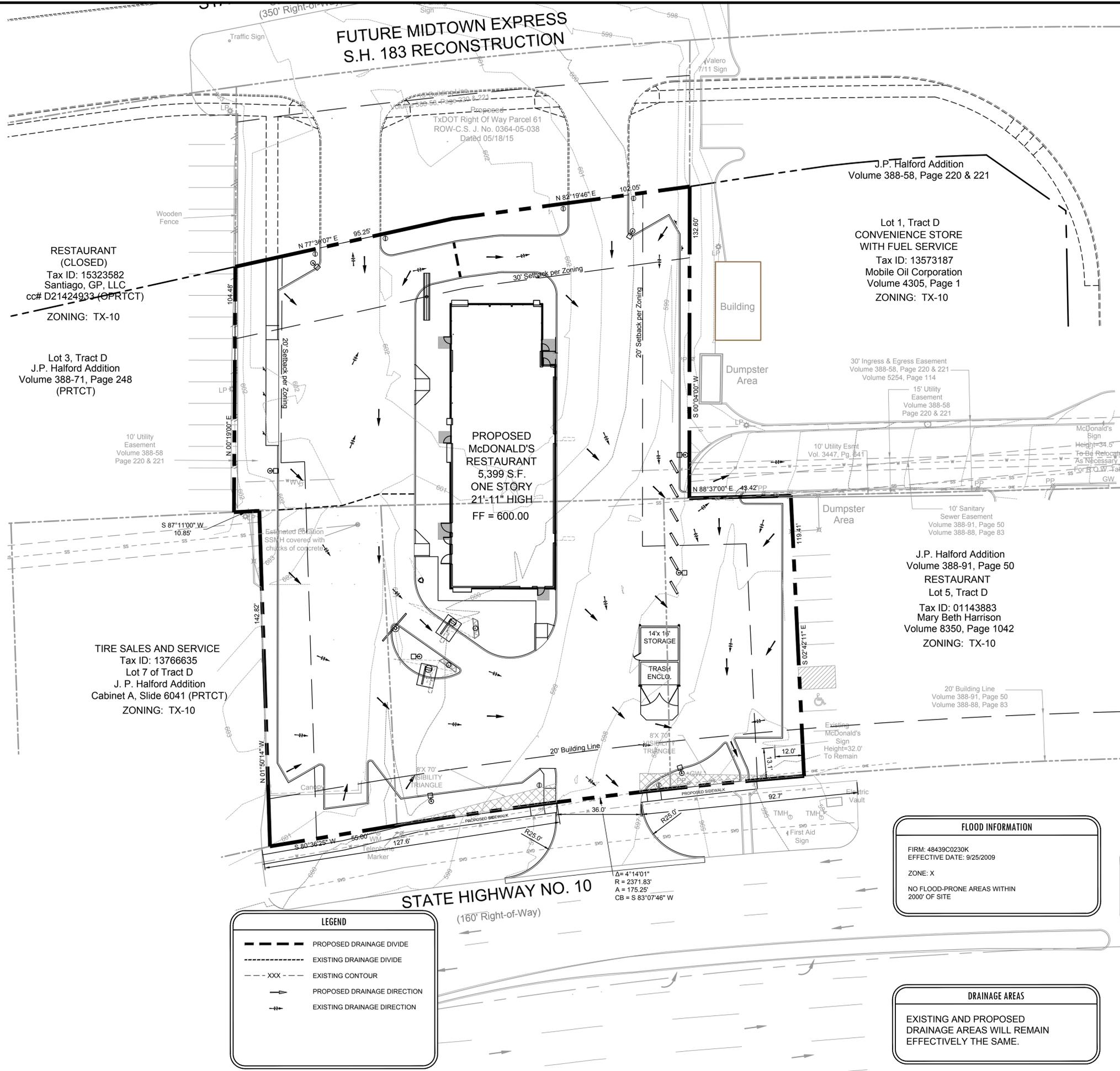
513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
817.820.0433 o 817.705.3387 c

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PROJECT NAME	2015 STANDARD BUILDING
PROJECT NUMBER	1527-WF-PC-11-ROBT
PROTOTYPE ISSUE DATE	2015
REVIEWED	JAW
FIRST ISSUE DATE	03/16/16
DESCRIPTION	WOOD BEARING WALLS WITH 4" BRICK VENEER AND 6" CONCRETE BLOCK PARTIERS WITH CULTURED STONE ANGLERS
SITE ID	1105 SPUR 316 EULESS TX
DWG. NO.	042-0077

A2.0
ELEVATIONS

FULL PATH: I:\Projects\2017\2017_223 McDONALD'S - EULESS TX (Rev 10) Drawings\2017_223 McDONALD'S - EULESS TX (Rev 10) Drawings\EULESS SITE PLAN.DWG
 PLOT DATE: Monday, April 11, 2016
 PLOT TIME: 8:09:29 AM
 PLOTTER: AIAA T3-PP-63
 FILENAME: SITE PLAN.dwg



SITE INFORMATION	
LAND AREA:	52,958 SF (1.216 AC)
CURRENT ZONING:	TX-10
EXISTING USE:	RESTAURANT W/ DRIVE-THRU
PROPOSED USE:	RESTAURANT W/ DRIVE-THRU
BUILDING AREA (APPROXIMATE):	5,399 SF
MAXIMUM BUILDING HEIGHT:	60 FT
BUILDING LOT COVERAGE:	5,399 SF/52,958 SF = 10.2%
MAXIMUM LOT COVERAGE:	N/A
MINIMUM LOT SIZE:	22,500 SF
MINIMUM LOT WIDTH:	130.00 FT
PARKING REQUIRED:	1 SPACE PER 100 SF
PARKING PROVIDED:	5,399 SF/100 SF = 54 SPACES
HANDICAP PARKING REQUIRED:	3
HANDICAP PARKING PROVIDED:	3
IMPERVIOUS AREA:	45,482 SF
LANDSCAPE PERCENTAGE:	14.1% SEE LANDSCAPE PLAN FOR DETAILS

OWNER INFORMATION	
MCDONALD'S USA, LLC MOUNTAIN SOUTHWEST FIELD EXECUTION TEAM 511 E. CARPENTER FRWY, STE. 375 IRVING, TEXAS 75062 (972) 869-5346 CONTACT: LEE MORRIS	PROPERTY OWNER: MCDONALD'S CORPORATION VOL. 9929, PG. 948 D.R.T.C.T.

SITE PLAN		
DESIGNED	MAR 2016	LMH
DRAWN	MAR 2016	LMH
CHECKED		
AS-BUILT		
SITE PLAN GRADING/DRAINAGE		
3		

FLOOD INFORMATION

FIRM: 48439C0230K
EFFECTIVE DATE: 9/25/2009

ZONE: X

NO FLOOD-PRONE AREAS WITHIN 2000' OF SITE

DRAINAGE AREAS

EXISTING AND PROPOSED DRAINAGE AREAS WILL REMAIN EFFECTIVELY THE SAME.

LEGEND	
	PROPOSED DRAINAGE DIVIDE
	EXISTING DRAINAGE DIVIDE
	EXISTING CONTOUR
	PROPOSED DRAINAGE DIRECTION
	EXISTING DRAINAGE DIRECTION

REV	DATE	DESCRIPTION

ADAMS JOB NO.: 2007.223
TBE REGISTRATION #: F-1002

Adams

8951 Cypress Waters Blvd., Suite 150 • Dallas, Texas 75019 • (817) 334-3300

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OFFICE	ADDRESS	DATE	BY
MCDONALD'S U.S. / MOUNTAIN SOUTHWEST FIELD EXECUTION TEAM	KROC DRIVE - OAK BROOK, ILLINOIS 60521		

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EULESS, TEXAS 76040

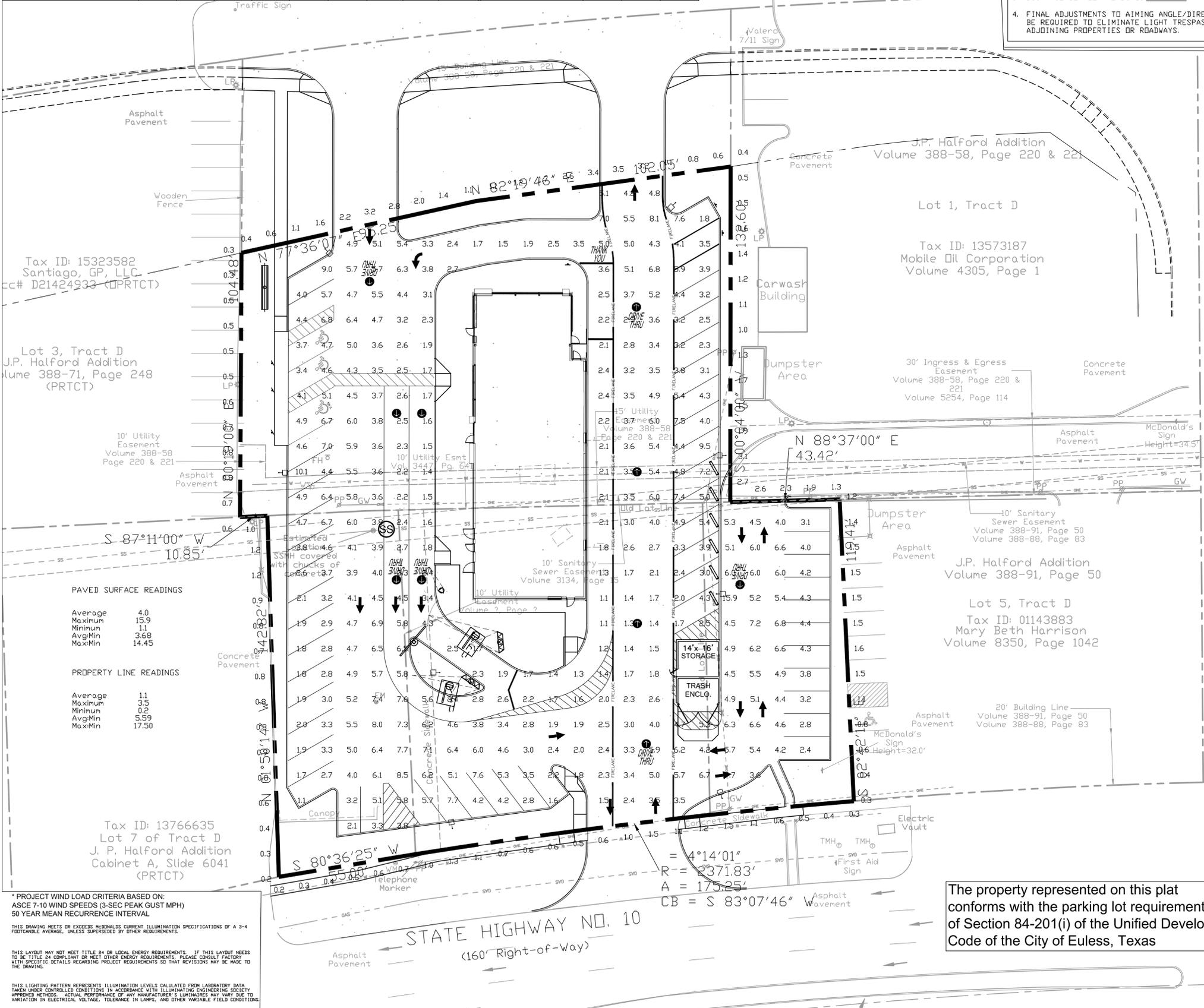
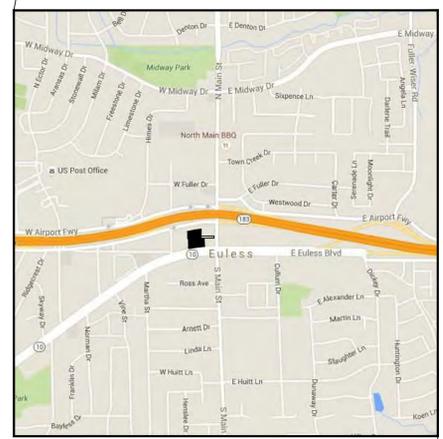
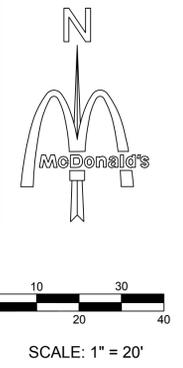
REGIONAL MGR.	CONSTR. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

DATE	BY

** - SPECIFY COLOR

FIXTURE TYPE:	SYMBOL	FIXTURE QUANTITY	CONFIG	QUANTITY	TENDON TOP FITTERS	QUANTITY	EPA	MOUNTING HEIGHT	LLF	POLE TYPE:	QUANTITY	WIND LOAD	ALLOWED EPA
VP-L-96NB-280-5k-T4-UNV-RA**	□	8	SGL	8	TTFVIPER	8	1.00	21'	0.87	SSP-4118-GL--TT (4')	8	90mph	7.2

- NOTES:
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. THE CONTRIBUTION OF THE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THE DRAWING UNLESS SOFFIT / BUILDING LIGHTING IS SPECIFIED IN THE FIXTURE SCHEDULE BELOW.
 3. DISTANCE BETWEEN READINGS 10'
 4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.



SITE INFORMATION	
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HANDICAP PARKING PROVIDED:	3
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LANDSCAPE PERCENTAGE:	14.1%

OWNER INFORMATION

MCDONALD'S USA, LLC
 MOUNTAIN SOUTHWEST FIELD EXECUTION TEAM
 511 E. CARPENTER FRWY, STE. 375
 IRVING, TEXAS 75062
 (972) 869-5346
 CONTACT: LEE MORRIS

PROPERTY OWNER:
 MCDONALD'S CORPORATION
 VOL. 9929, PG. 948
 D.R.T.C.T.

The property represented on this plat conforms with the parking lot requirements of Section 84-201(i) of the Unified Development Code of the City of Euless, Texas

SITE PLAN
 CASE NO:
 MCDONALD'S EULESS - AIRPORT FREEWAY

LOCATED IN:
 1.045 ACRE TRACT
 PART OF LOT 2R, TRACT D
 REPLAT OF THE J.P. HALFORD ADDITION
 AND
 0.171 ACRE TRACT
 JAMES P. HALFORD SURVEY
 ABSTRACT NO. 711
 EULESS, TARRANT COUNTY, TEXAS

SUBMITTED: _____
 REVISED: _____

* PROJECT WIND LOAD CRITERIA BASED ON:
 ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
 50 YEAR MEAN RECURRENCE INTERVAL

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE TITLE 24 COMPLIANT OR MEET OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LIGHTING FIXTURES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

REV	DATE	DESCRIPTION

ADAMS JOB NO.: 2007.223
 TBE REGISTRATION #: F-1002

Adams
 8951 Cypress Waters Blvd, Suite 150 • Dallas, Texas 75019 • (972) 334-3300

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MCDONALD'S U.S. LLC
 ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521
 ADDRESS: 042-0077

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OFFICE	DATE	DATE	DATE

PLAN APPROVALS

SIGNATURE (2 REQUIRED)

CO-SIGN SIGNATURES

DESIGNED	DATE	BY

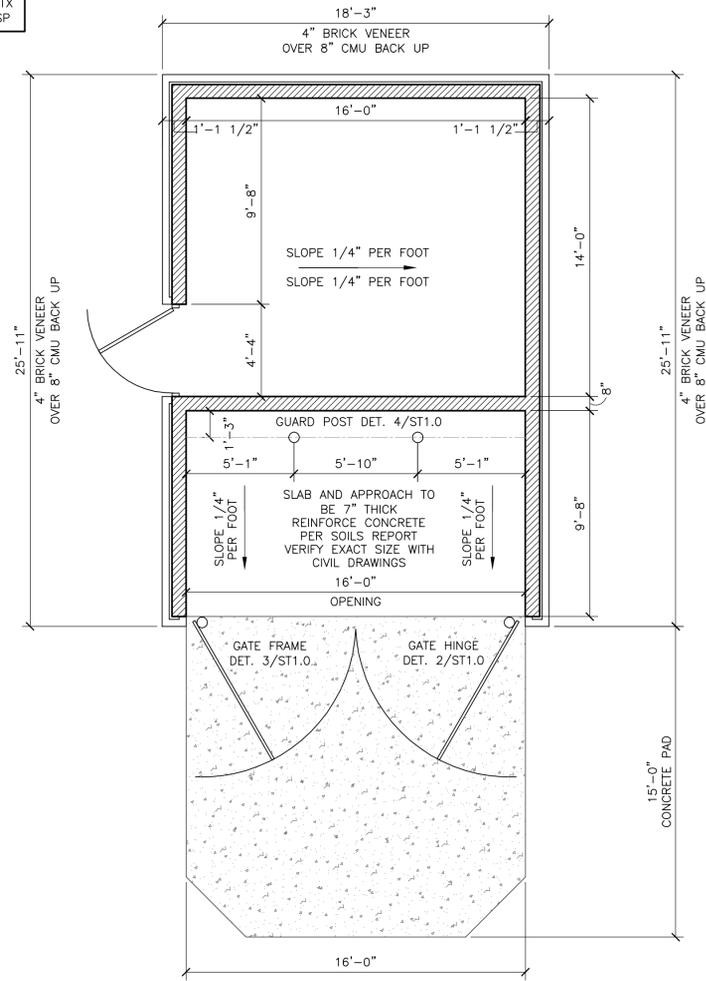
DRAWN	DATE	LMH

CHECKED	DATE	

AS-BUILT	DATE	

LIGHTING PLAN

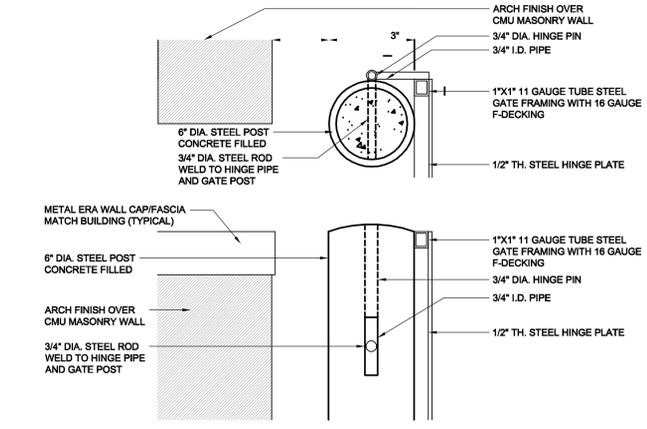
4



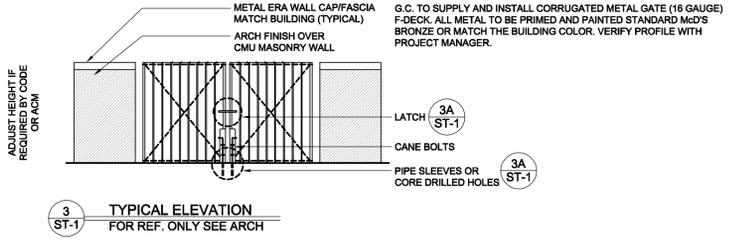
1 TRASH ENCLOSURE PLAN
NOT TO SCALE

1. PROVIDE CLOSELY SPACED CONTROL JOINTS IN ALL MASONRY WALLS (MINIMUM ONE PER WALL FACE).
2. PROVIDE TECHNIQUES MENTIONED IN SOILS REPORT TO CONTROL EXCESS POST CONSTRUCTION MOISTURE TO SUBGRADE. MAINTAIN MOISTURE BARRIERS.
3. SEE SITE PLAN FOR LOCATION.

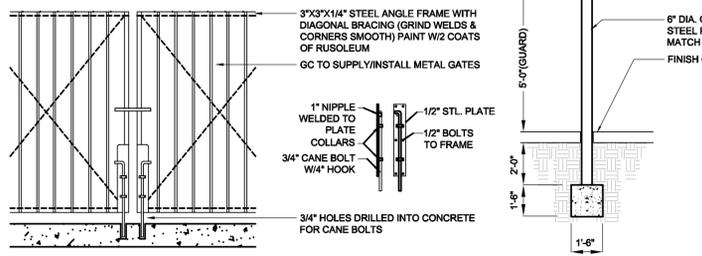
NOTE:
STORAGE ROOM IS TO BE EQUIPPED WITH A "WHIRLY BIRD" ROOF VENTILATOR, 2X2 FLUORESCENT LIGHT (WEATHER TIGHT) W/ SWITCH AND DUPLEX RECEPTACLE.
G.C. TO APPLY BLOCK SEALANT AND PAINT TO ALL EXPOSED CMU SURFACES. GC TO PROVIDE A TPO ROOF COVERING, PER THE STANDARD DETAILS AS SHOW ON THE ROOFING PLANS, USE A METAL ERA FASCIA TRIM TO MATCH THE BUILDING



2 SINGLE GATE HINGE DETAIL
NOT TO SCALE

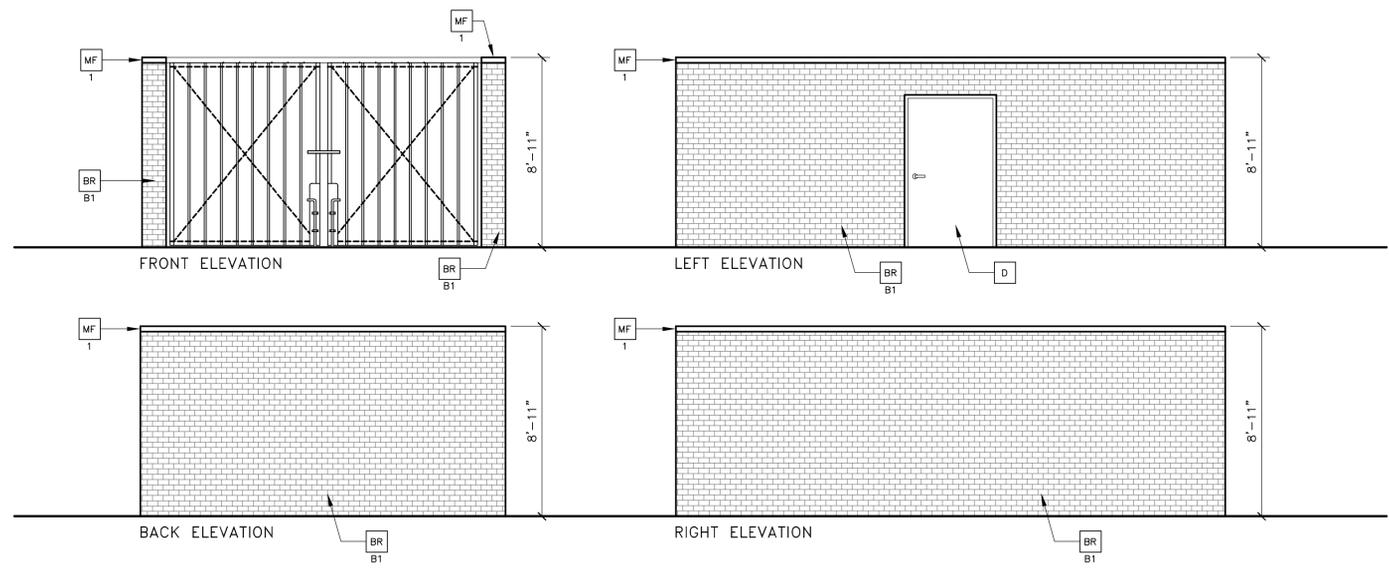


3 TYPICAL ELEVATION
FOR REF. ONLY SEE ARCH



3A TYPICAL ELEVATION
NOT TO SCALE

4 GUARD POST
NOT TO SCALE

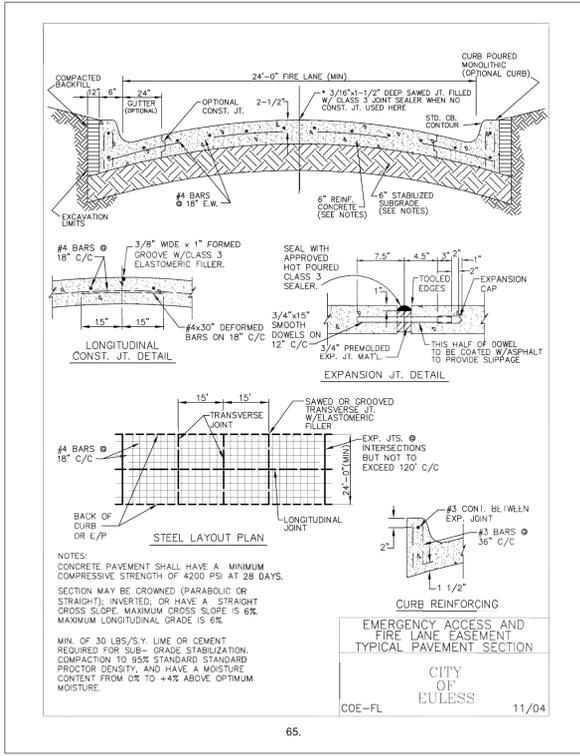


BR-1 BRICK VENEER
MOD. SIENNA BLEND VELOUR A
BELDEN BRICK OR EQUAL

BR FACEBRICK
B1-COLOR:
B1 = "SIENNA BLEND VELOUR A" BY BELDEN OR EQUAL

MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/A5.D

D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL.



5 EMERGENCY ACCESS DETAIL
NOT TO SCALE



513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
817.820.0433 o 817.705.3387 c

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PROJECT NAME	2015 STANDARD BUILDING
DESCRIPTION	WOOD BEARING WALLS WITH 4" BRICK VENEER WOOD ROOF FRAMING MEMBERS COLORLED STONE ARCHES
PROJECT NO.	4597-W-PP-CRT REPT
PROTOTYPE ISSUE DATE	2015
REVIEWED	JAW
FIRST ISSUE DATE	03/18/16
SITE ADDRESS	105 SPUR 360 EULESS, TX
042-0077	

SHEET NO. **ST1.0**
TRASH ENCLOSURE